

WEST BAY
SANITARY DISTRICT
SAN MATEO COUNTY, CALIFORNIA

FLOW EQUALIZATION AND RESOURCE RECOVERY FACILITY LEVEE
IMPROVEMENTS PROJECT
Menlo Park, California

ADDENDUM #2

WBSD Project No. 1762.0

This Addendum forms a part of the Contract Documents. All bidders submitting a bid to perform work on this project shall acknowledge receipt of this Addendum by completing the RECEIPT OF ADDENDA Specification Section 3.09, submitted as part of their bid. If a bidder does not acknowledge receipt of this Addendum on the Proposal submitted as part of their bid, the bidder will be deemed non-responsive or a non-responsible bidder and will be disqualified.

The Contractor's attention shall be directed to the updated Bid Opening date:

Sealed proposals will be opened and read in person at 2:00 PM on August 17, 2023, at the West Bay Sanitary District office. Contractors have option to attend in person or via Zoom. Zoom information to attend the bid-opening virtually is:

Topic: FERRF Levee Improvements Project Bid Opening

Time: August 17, 2023, 02:00 PM Pacific Time (US and Canada)

Join Zoom Meeting

<https://us06web.zoom.us/j/81511722976?pwd=enLSXZMUURodExPWIRzbVRXKzM5Zz09>

Meeting ID: 815 1172 2976

Passcode: 911921

One tap mobile

+16694449171,,81511722976#,,,,*911921# US

+16699006833,,81511722976#,,,,*911921# US (San Jose)

Dial by your location

• +1 669 444 9171 US

• +1 669 900 6833 US (San Jose)

• +1 253 205 0468 US

• +1 253 215 8782 US (Tacoma)

• +1 346 248 7799 US (Houston)

- +1 719 359 4580 US
- +1 689 278 1000 US
- +1 929 205 6099 US (New York)
- +1 301 715 8592 US (Washington DC)
- +1 305 224 1968 US
- +1 309 205 3325 US
- +1 312 626 6799 US (Chicago)
- +1 360 209 5623 US
- +1 386 347 5053 US
- +1 507 473 4847 US
- +1 564 217 2000 US
- +1 646 931 3860 US

Meeting ID: 815 1172 2976
 Passcode: 911921

The Contractor's attention shall be directed to the following responses to questions received by West Bay Sanitary District after the non-mandatory pre-bid meeting:

1. On Sheet C1.2, note 2 calls out for a cap on an existing sanitary sewer forcemain utility. Please confirm size of existing sanitary sewer forcemain.
 - a. The existing sanitary sewer forcemain is a 24-inch pipeline. Please see revised Sheet C1.2-Addendum 2.
2. On Sheet C13.0, what size is the new storm drainage system?
 - a. The proposed size for the storm drainage system on Sheet C13.0 is 8" PVC C900. Please see revised Sheet C13.0-Addendum 2.
3. Are PZ style sheet pile walls the only allowable style or can the sheet piles be an equivalent product?
 - a. Alternative sheet pile walls that are an equivalent product to PZ style sheet pile walls are allowed. Please refer to note A under Steel Sheet Pile-Skyline on Sheet S1.0.
4. Sheet L2.1 note 2, L3.0, L3.1, and L3.2 mentions that the existing salvaged Bay Mud is to be reused. However, Bid Item 37 mentions that Bay Mud shall be hauled offsite. It seems the plans and specifications contradict themselves. Please confirm that for bidding purposes the Contractor should assume that all Bay Mud materials excavated shall be stockpiled on site for re-use.
 - a. Bidders shall consider fill for the construction of the ecotone slope / living shoreline to be imported fill that fulfills requirements listed under the Draft Quality Assurance Project Plan (QAPP) for West Bay Sanitary District Flow Equalization and Resource Recovery Facility Flood Protection Project. As quantified in the bidding schedule, any soil excavated from the Bay is to be exported from the site. That material can be stockpiled on site and tested and if found to meet the requirements of the QAPP, can be replaced in the Bay. However, fill for the construction of the ecotone slope / living shoreline is shown as exported in the bidding schedule. Bidders shall also consider excavated borrow material on-site from stockpiles to be used for any construction inboard of the top of bank. Please see revised Bid Item Descriptions in Addendum 1.

5. The over-excavation and fill detail on C16.4 proposes significant constructability challenges, that need further clarification to develop a cost estimate. Please confirm if these utilities can be temporarily taken out of service and then re-installed, or please confirm how many linear feet of the utility can be exposed and backfilled with flowable fill at a time.
 - a. To reduce pipe settlement over excavation is needed for areas where pipes are present, and fill is being added. Please See revised details 4 and 5 on sheet C16.4-Addendum 1 in Addendum 1. Temporarily removing utilities out of service is not preferred. The linear feet of exposed utility shall not be more than what the Contractor can backfill in a working day. No trench shall be open at the end of the working day.
6. Is there a possibility of a second pre-bid site visit?
 - a. Yes, a second non-mandatory pre-bid meeting will be held on August 2, 2023 at 11:00 am at the project site, the District's Flow Equalization and Resource Recovery Facility at the north end of Bedwell Bayfront Park in Menlo Park in person.
7. Can you clarify work within City of Menlo Park Right-of-Way?
 - a. Work within City of Menlo Park Right-of-Way and City of Menlo Park property includes the following:
 - i. Raising the road along Marsh Road and into the Trails.
 - ii. Raising the trails in Bedwell Bayfront Park.
 - iii. Installation of sheet pile walls up to the FERRF entrance.
 - iv. Installation of storm drainage system along Marsh Road.
 - v. Drainage Ditch Improvements
 - vi. Construction of the Public Access Area
 - vii. Construction of a portion of the ecotone slope / living shoreline
 - viii. Installation of buried sheet pile walls.
 - ix. Raising the grades along the helipad.
 - x. Installation of Oyster Reefs.
 - xi. Installation of Storm Drain Outfalls.

Please refer to sheet C2.0 for property line locations.

8. Do you have an anticipated date for container plant delivery?
 - a. It is up to the contractor to create a project schedule. Please review section 8.17 in the specifications along with mitigation measures mentioned in the Final Environmental Impact Report and environment permits. Project needs to be completed by January 2025.
9. What nursery is providing plant materials?
 - a. The local chapter of the CA Native Plant Society maintains the following list of native plants nurseries: <https://www.cnps-scv.org/gardening/39-gardening-with-natives/356-where-to-buy-native-plants>. In addition, Save the Bay operates a native plant nursery on the project site and may be able to supply or contract grow the required plant material for the project: <https://savesfbay.org/contact-us/>. It is the responsibility of the contractor to source any required native plant material that cannot be salvaged from the site from one or more local nurseries, and to submit a plant order form(s) for approval by the Project Biologist / Restoration Ecologist prior to purchase and

installation of the plant material. The contractor should make every effort to source the material from a local native plant supplier and shall provide documentation that the supplier has utilized local seed sources from the same watershed as the project site.

10. Are there any design guidelines for the on-site nursery to maintain the salvage material?
 - a. The contractor is required to submit a Work Plan for plant salvage, maintenance, and placement of any salvaged plant material to the Project's Biologist / Restoration Ecologist for approval prior to construction. This Work Plan should include a description of the proposed on-site nursery facility, if the salvaged plant material must be maintained and cannot be placed immediately after being salvaged. Please see note 2 on sheet L2.2 and Technical Specification Section 31 11 00.
11. Does the completion date of January 2025 include the 1-year plant establishment period?
 - a. The completion date of January 2025 includes the initial plant installation only. If required, the plant establishment period may extend beyond this date to ensure that all plants are maintained for one full year after installation.
12. Can you confirm that the sheet pile walls do not need to be American made sheet pile walls?
 - a. The sheet pile walls need to be American made sheet pile walls.
13. Specification Section 03 30 00 does not include the water to cement ratio for the cast in place concrete. Please provide water to cement ratio.
 - a. Maximum W/CM Ratio is 0.40.
14. It appears that the stationing used follows the centerline for the levee, and not the centerline of the proposed sheet pile walls. This is an issue where the sheet pile wall and the levee diverge from parallel between station 40+00 and 41+00. S4.3 appears to inaccurately show the profile of the wall through this section. The lineal footage and square footage of the sheet pile wall are different between the reference plan sheets. Please either provide clarification or make a revision to the plans. The Contractor's request is to utilize a new stationing that follows the centerline of the new sheet pile wall.
 - a. Please review Sheets C3.0, C4.0, C5.0, C7.0, C8.0, C9.0 that provide station offset for sheet pile walls.
15. It appears that the first 240 feet of the West Outboard Sheetpile Wall is directly under high voltage power lines. Will the district be responsible for working with PG&E to relocate these wires?
 - a. Sheet C3.0 is currently being redesigned to address concerns of the sheet pile walls adjacent to the power poles and overhead lines. Forthcoming Addendum #3 will provide the redesigned sheet. It will be up to the contractor to coordinate with PGE.

The Contractor's attention is directed to the following modifications to the Contract Documents:

PLANS

REPLACE Pages C1.2 with C1.2 – Addendum 2. Demolition Key Note 2 revised.

REPLACE Pages C13.0 with C13.0 – Addendum 2. Pipe size and linear footage added to sheet.

SPECIFICATIONS

REPLACE Page A1 (Section A1 NOTICE REQUESTING BIDS) with PAGE A1-Addendum 2. Bid Opening Date updated. Second Pre-Bid Meeting Added.

REPLACE Page A9 (Section A2.27 PRE-BID CONFERENCE) with PAGE A9-Addendum 2. Second Pre-Bid Meeting Added.

REPLACE Page C8 (Section C1.23 PRE-BID CONFERENCE) with PAGE C8-Addendum 2. Second Pre-Bid Meeting Added.

***** END OF ADDENDUM *****



GRAPHIC SCALE



(IN FEET)
1 inch = 40 ft.

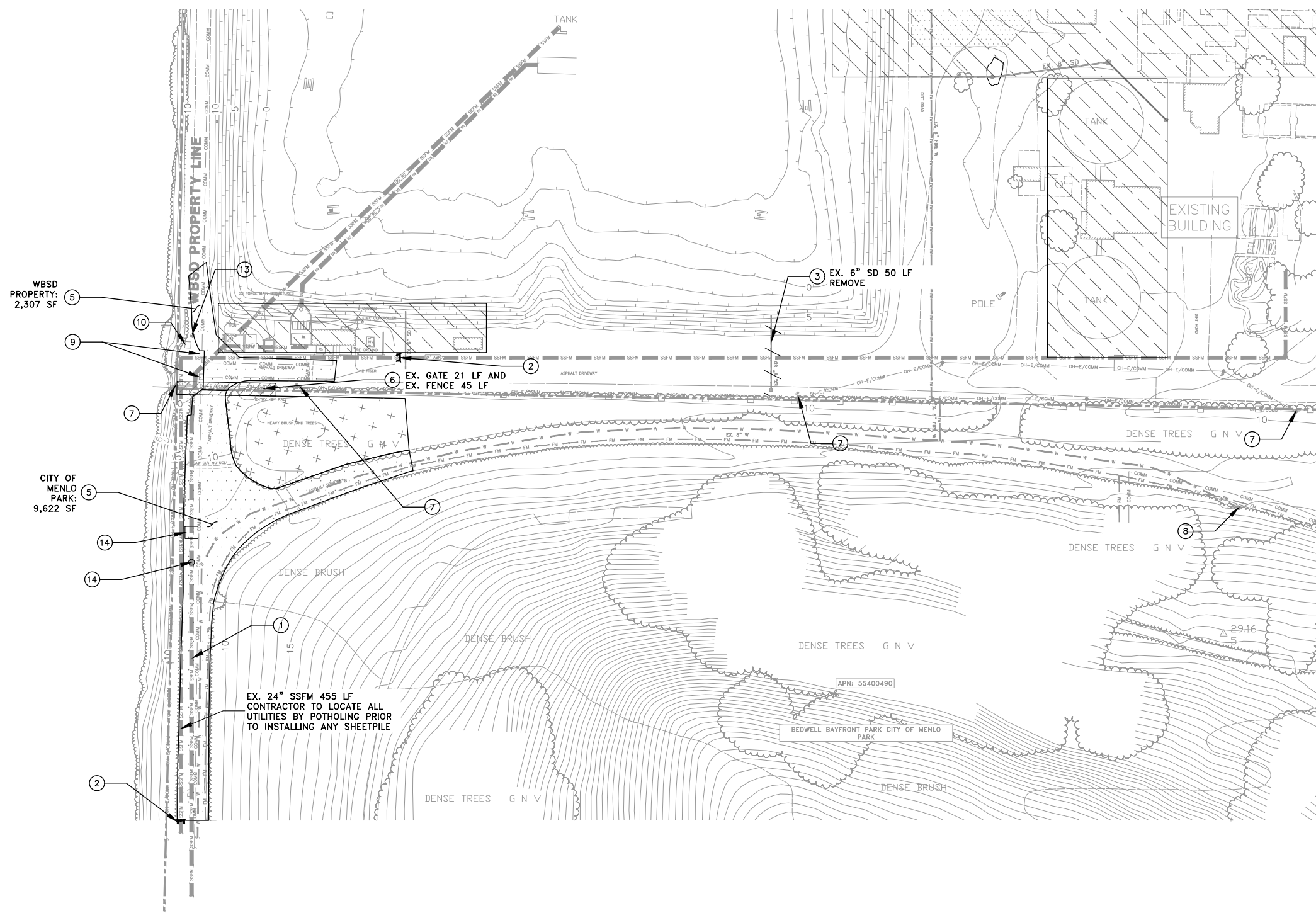
AC PAVEMENT REMOVAL	
AREA TO BE DEMOLISHED	
AREA TO BE PROTECTED	
DEMOLITION KEY NOTES	①
STORMDRAIN TO BE REMOVED/ABANDONED AS NOTED	
SANITARY SEWER TO BE REMOVED/ABANDONED AS NOTED	
AREA TO BE CLEARED AND GRUBBED	
CAP	

GENERAL NOTES

1. ALL EX UTILITY INFORMATION HAS BEEN COMPILED FROM TOPOGRAPHIC SURVEY AND RECORD DRAWINGS. CONTRACTOR SHALL FIELD VERIFY EXACT LOCATIONS OF ALL SITE UTILITIES PRIOR TO DEMOLITION ACTIVITIES.
2. CONTRACTOR SHALL CAP/PLUG OR REMOVE EX UTILITIES SHOWN ON PLANS PER ACCEPTABLE CITY OF MENLO PARK/WEST BAY SANITARY DISTRICT STANDARDS AND APPROVED METHODS BY UTILITY AGENCIES.
3. CONTRACTOR SHALL COORDINATE UNDERGROUND AND OVERHEAD UTILITY TERMINATION, RELOCATION, AND POLE REMOVAL WITH PG&E, AND/OR RESPECTIVE UTILITY AGENCY.
4. ALL NEW FILL FOR BACKFILLING VOIDS SHALL BE AS SPECIFIED IN THE SPECIFICATIONS. FILL SHALL BE PLACED AND COMPACTED IN ACCORDANCE TO THE GEOTECHNICAL RECOMMENDATIONS.
5. THICKNESS OF EX CONCRETE SURFACES, FOUNDATION SLABS, AC PAVEMENT SURFACES, AND BASE MATERIAL ARE UNKNOWN. CONTRACTOR SHALL FIELD VERIFY PRIOR TO DEMOLITION ACTIVITIES.
6. CONTRACTOR SHALL PROTECT THE EXISTING OPERATION BUILDING AND ITS UTILITIES SERVED TO THE BUILDING.
7. CONTRACTOR SHALL REMOVE ANY EXISTING EXCESS MATERIALS THAT MAY BE ENCOUNTERED DURING CONSTRUCTION ACTIVITIES.
8. THE CONTRACTOR'S ACTIVITIES SHALL NOT HINDER NOR INCONVENIENCE THE OPERATION OF THE EXISTING SITE FACILITIES. THROUGHOUT THE PERFORMANCE OF THE WORK, OR IN CONNECTION TO THIS CONTRACT, THE CONTRACTOR SHALL CONSTRUCT AND ADEQUATELY MAINTAIN SUITABLE AND SAFE CROSSINGS TO BUILDINGS, WAREHOUSES, FORMER TREATMENT PLANT AND NURSERY AS ARE NECESSARY TO ENSURE REGULAR OPERATIONS.

DEMOLITION KEY NOTES

- ① CONTRACTOR SHALL PROTECT EX ABOVE & UNDERGROUND UTILITIES AND IMPROVEMENTS AND PERMANENT ABOVE & UNDERGROUND IMPROVEMENTS AND UTILITIES WITHIN AND OUTSIDE THE LIMITS OF WORK DURING DEMOLITION AND GRADING ACTIVITIES.
- ② INSTALL CAP FOR 24" FORCE MAIN.
- ③ REMOVE EXISTING UTILITY.
- ④ REMOVE CONCRETE.
- ⑤ REMOVE EXISTING AC PAVEMENT AND BASE.
- ⑥ EXISTING GATE AND/OR FENCE TO BE REMOVED.
- ⑦ EXISTING POLE TO REMAIN. PROTECT IN PLACE.
- ⑧ EXISTING FIRE HYDRANT TO REMAIN. PROTECT IN PLACE.
- ⑨ EXISTING VAULT, PULLBOX AND MANHOLE TO REMAIN. PROTECT IN PLACE. REFER TO UTILITY PLANS.
- ⑩ CONTRACTOR SHALL IDENTIFY USE OF EXISTING CONCRETE PAD IF ENCOUNTERED. RAISE PAD TO FG IF PROTECTING ACTIVE EX UTILITY. REFER TO KEY NOTE 4 IF OBSOLETE.
- ⑪ EXISTING PALLETTE TO BE REMOVED IF ENCOUNTERED.
- ⑫ ABANDON EXISTING PIPES BETWEEN PONDS.
- ⑬ EXISTING BENCHMARK TO REMAIN. PROTECT IN PLACE.
- ⑭ RAISE ELEVATION TO FINISH GRADE.
- ⑮ REMOVE EXISTING RIPRAP.



DATE:	06/23/2023	06/23/2023	BID SET
SCALE:	AS NOTED	07/19/2023	▲ ADDENDUM 1
DESIGNED:	LFH & FYM	07/21/2023	▲ ADDENDUM 2
DRAWN:	FYM & MPM		
CHECKED:	LFH		
PROJ. ENGR:	RJL		
BY	DATE	DESCRIPTION OF REVISIONS	APP'D

FL FREYER & LAURETA, INC.
CIVIL ENGINEERS • SURVEYORS • CONSTRUCTION MANAGERS

150 Executive Park Blvd #4200 • San Francisco, CA 94134
(415)534-7070 • www.freyerlaureta.com

WEST BAY SANITARY DISTRICT
SAN MATEO COUNTY

PROJECT No. 1762.0

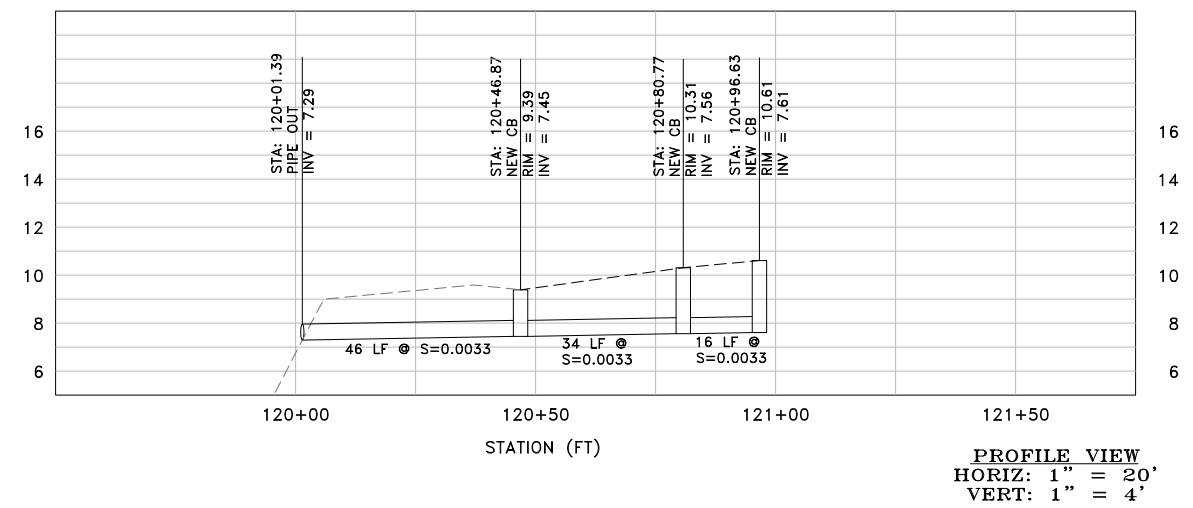
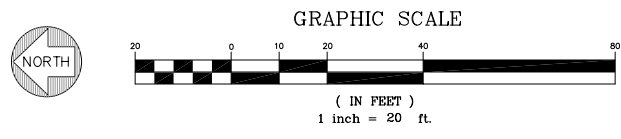
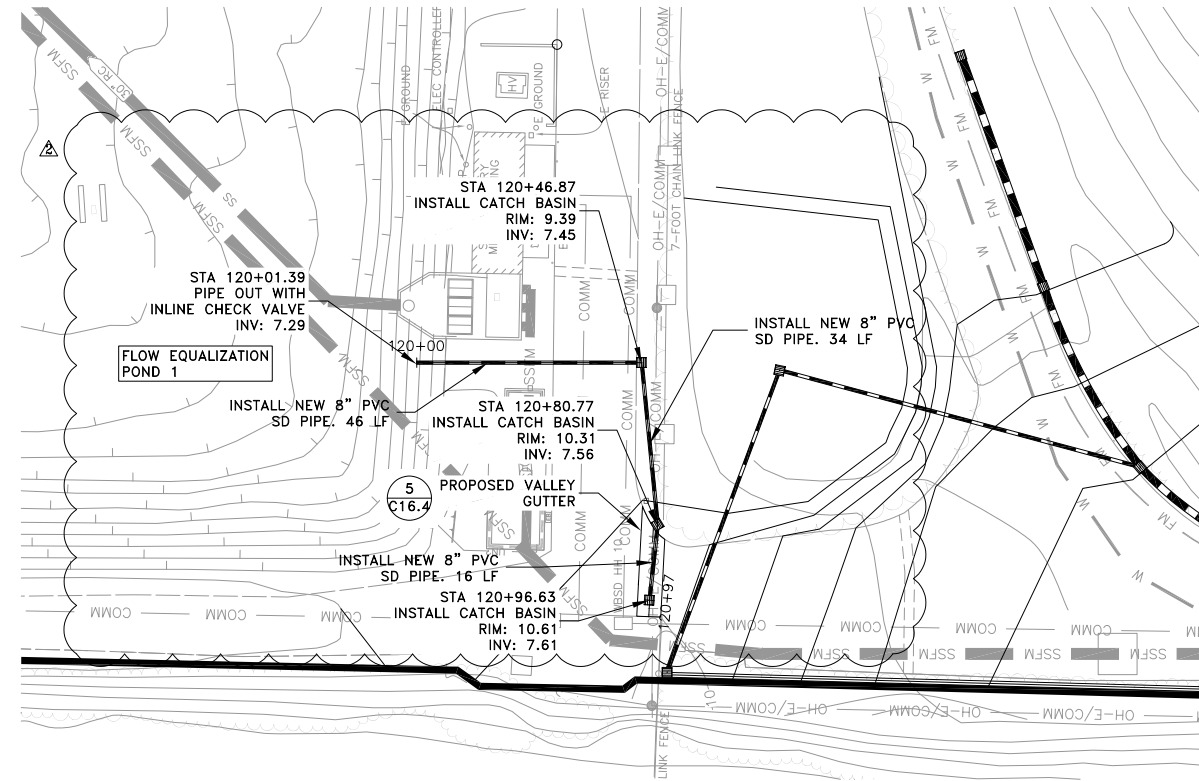


FLOW EQUALIZATION AND RESOURCE RECOVERY FACILITY LEVEE IMPROVEMENTS PROJECT

DEMOLITION PLAN DETAIL
MENLO PARK, CALIFORNIA

SHEET	C1.2
JOB NO.	1079

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DATE: 06/23/2023	06/23/2023	BID SET	
SCALE: AS NOTED	07/19/2023	ADDENDUM 1	
DESIGNED: LFH & FYM	07/21/2023	ADDENDUM 2	
DRAWN: FYM			
CHECKED: LFH			
PROJ. ENGR: RJL			
BY	DATE	DESCRIPTION OF REVISIONS	APP'D

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WEST BAY
 SANITARY DISTRICT
 SAN MATEO COUNTY

PROJECT No. 1762.0

**FLOW EQUALIZATION AND RESOURCE RECOVERY
 FACILITY LEVEE IMPROVEMENTS PROJECT**
 WBSD STORM WATER UTILITY PLAN
 STA 120+00 - STA 120+97
 MENLO PARK, CALIFORNIA

SHEET
C13.0

JOB NO.
1079

SECTION A1 - NOTICE REQUESTING BIDS**WEST BAY SANITARY DISTRICT PROJECT
FLOW EQUALIZATION AND RESOURCE RECOVERY FACILITY LEVEE IMPROVEMENTS
PROJECT**

Sealed proposals for the FLOW EQUALIZATION AND RESOURCE RECOVERY FACILITY LEVEE IMPROVEMENTS PROJECT will be received at the West Bay Sanitary District, 500 Laurel Street, Menlo Park, California 94025 until **2:00 PM on Thursday, August 17, 2023** at which time they will be publicly opened and read. Bids shall be labeled "West Bay Sanitary District, Proposal for "FLOW EQUALIZATION AND RESOURCE RECOVERY FACILITY LEVEE IMPROVEMENTS PROJECT".

This project includes the flood protection of the District's Flow Equalization and Resource Recovery Facility (FERRF) against the FEMA floodplain and Sea Level Rise. The FERRF is a District multi-use facility that provides temporary storage of wastewater during wet weather events, storage of District vehicles and equipment, and includes a nursery for Save the Bay vegetation to be used in restoration projects. The Work will include the furnishing of all labor, materials and equipment, and other appurtenances for the raising of grades along Marsh Road, Bedwell Bayfront Park trails, levee crest and FERRF access roads, raising of existing vaults/manholes, construction of the living shoreline, valley gutter, headwalls, oyster reef structures, public access area, installation of sheet pile walls, of storm drainage infrastructure, of fencing, of erosion control measures, of temporary irrigation system, planting, and of erosion control seed mix and improvements to an existing drainage ditch as indicated on the project plans. The project is to start September 2023 and be completed by January 31, 2025, in conformance with permits and grant obtained for the project.

The contract documents may be inspected at the office of the West Bay Sanitary District, 500 Laurel St, Menlo Park, California 94025; San Francisco Builders Exchange, Attn: Deanna Johnson, 850 So. Van Ness Avenue, San Francisco, California 94110; Peninsula Builders Exchange, Attn: Andrea Nettles, 282 Harbor Blvd, Belmont, California 94002; Santa Clara Builders Exchange, Attn: Kanani Fonseca, 400 Reed Street, Santa Clara, California 95050; Bay Area Builders Exchange Attn: Jeannie Kwan, 3055 Alvarado Street, San Leandro, California 94577; Construction Bidboard Incorporated, Attn: Plan Room, 11622 El Camino Real, Suite 100, San Diego, CA 92130.

Questions shall be directed in writing to:

Fariborz Heydari, P.E.

Project Manager

Email: fheydari@westbaysanitary.org

Copies of the Contract Documents may be obtained at the office of the West Bay Sanitary District upon payment of a check or money order in the amount of \$60.00 for each set. The check or money order must be issued to the West Bay Sanitary District. All payments are nonrefundable.

Pre-bid meeting will be held at **10:00 am on Tuesday, July 11, 2023 and 11:00 am on Wednesday, August 2, 2023** at the project site, the District's Flow Equalization and Resource Recovery Facility at the north end of Bedwell Bayfront Park in Menlo Park.

Each bid proposal shall be accompanied by a certified or cashier's check or a proposal guaranty bond payable to the order of the West Bay Sanitary District in an amount not less than ten percent (10%) of the amount of the bid as a guaranty that the bidder will execute the contract if it be awarded to him in conformity with the proposal. The successful bidder will be required to furnish a performance bond in an amount not less than one hundred percent (100%) of the contract price and a labor and material bond in an amount equal to one hundred percent (100%) of the contract price.

2.26 SUBSTITUTION OF EQUALS

The material which has been specified shall be provided. No substitutions will be allowed except as provided for in California Public Contract Code Section 3400(a) when materials called for in the contract are designated by specific brand or trade name.

2.27 PRE-BID CONFERENCE

All plan holders are urged to attend any of the pre-bid conferences to be held at **10:00 am on Thursday, July 11, 2023, and 11:00 am on Wednesday August 2, 2023** at the project site, the District's Flow Equalization and Resource Recovery Facility at the north end of Bedwell Bayfront Park in Menlo Park

2.28 DOCUMENTS

Bidder's attention is directed to complete and sign the following documents and submit them with the bid:

1. Proposal.
2. License Statement and copy of license.
3. Non-collusion Affidavit.
4. Statement of Inspection of Site.
5. Bidder's Experience Statement and References.
6. Personnel Experience Statement.
7. Proposed Subcontractors Form.
8. Receipt of Addenda.
9. Proposal Guaranty Bond.

The Agreement Form, Insurance Endorsement Forms, Labor and Material Bond Forms and Performance Bond Form will be required to be completed by the selected lowest bidder **before award of contract**.

2.29 TRAFFIC CONTROL PLAN

The Contractor shall comply with all relevant provisions of federal, state and local codes and regulations in regard to the traffic control. **The successful bidder shall submit Traffic Control Plans to be approved by the District and City of Menlo Park.** The Traffic Control Plan shall incorporate Caltrans Standard Details. The successful bidder shall submit the Traffic Control Plan to the District 10 days prior to the Pre-Construction Conference scheduled by the District. For more detail in regard to the Traffic Control Plan, refer to Article B8.11 of these specifications and the requirements of each jurisdiction in the Appendix section of these Project Specifications.

1.23 PRE-BID CONFERENCE

All plan holders are urged to attend any of the pre-bid conferences to be held at **10:00 am on Thursday July 11, 2023, and 11:00 am on Wednesday August 2, 2023**, at the project site, the District's Flow Equalization and Resource Recovery Facility at the north end of Bedwell Bayfront Park in Menlo Park.

1.24 PRE-CONSTRUCTION CONFERENCE

After Award of the Contract and receipt and acceptance of all bonds and insurance and prior to the issuance of the Notice to Proceed, the various parties with an interest in the project including the contracting partner, subcontractors, and public officials shall meet to discuss and coordinate the required construction activities and determine when construction can proceed. The conference will take place at a time and location designated by the District.

1.25 PROPERTY OWNER and PARK USERS' NOTIFICATION

The Contractor will furnish all affected property owners and/or residents written notification in both English and Spanish that describes the proposed work. The Contractor shall cooperate with the District in providing relevant dates of construction, possible service interruptions if approved by the District, and a description of landscaping and improvements that may be affected and/or removed for inclusion in the property owner notification. The Contractor is advised that owners/residents have the right to salvage all existing landscaping, improvements and/or other materials that the Contractor may remove to facilitate construction within the right of way and/or the right of entry areas. Contractor shall notify property owner of COVID-19 precautions and LCP Protocol. Prior to distribution, the Contractor shall give a sample of the notification to the District for approval.

Notifications for parks users shall also be placed in public areas visible to the public. Notifications will be in both in English and Spanish.